



**FOSTER**  
**& CO**

# Shirley Drive

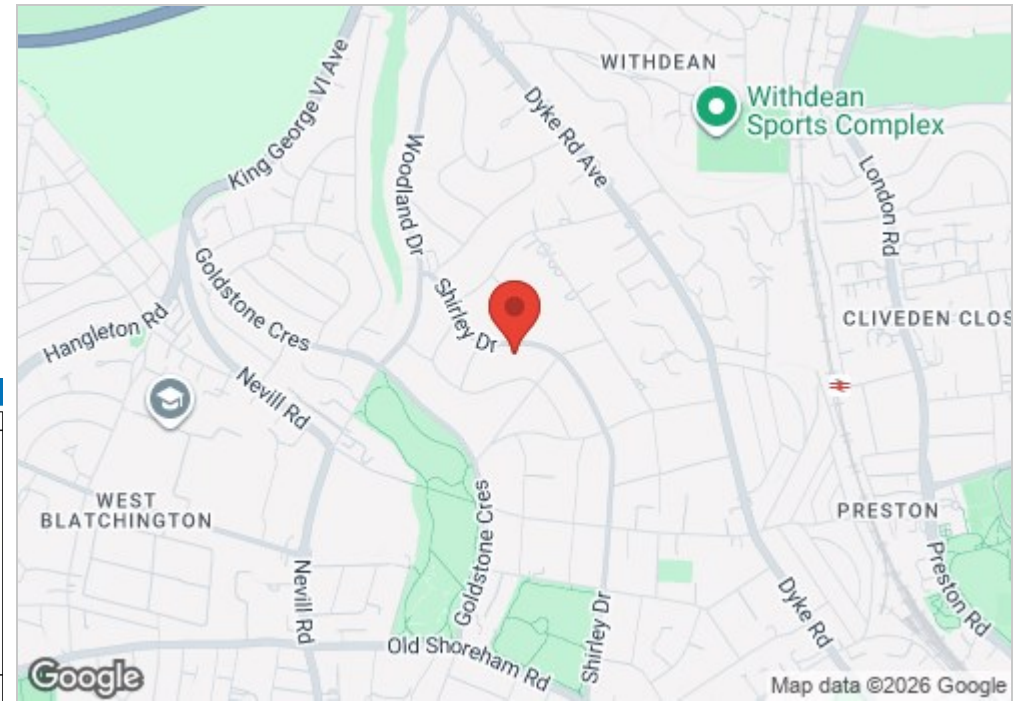
Hove, BN3 6UL

Asking price £1,200,000

A fantastic opportunity purchase this five bedroom detached family home on Shirley drive. The house is in a prime location of Hove, close to Hove park and is chain free. On the ground floor are two great sized reception rooms, separate kitchen and conservatory as well as downstairs W/C. Upstairs on the first floor are five bedrooms, the master and second bedroom both enjoy sea views. The family bathroom has a bath and wash basin with a separate W/C next door. The back garden is large and can be accessed via the conservatory. There are 2 annexes one at the front of the property and one at the rear.

Planning permission granted BH2023/01256 to knock down and rebuild a 5800 sq ft house.

Shirley Drive is located in the sought after Hove Park area of Hove, with numerous good schools, whilst providing easy access to the A27/A23. There are also bus routes located close by providing access to Brighton City centre and the centre of Hove.



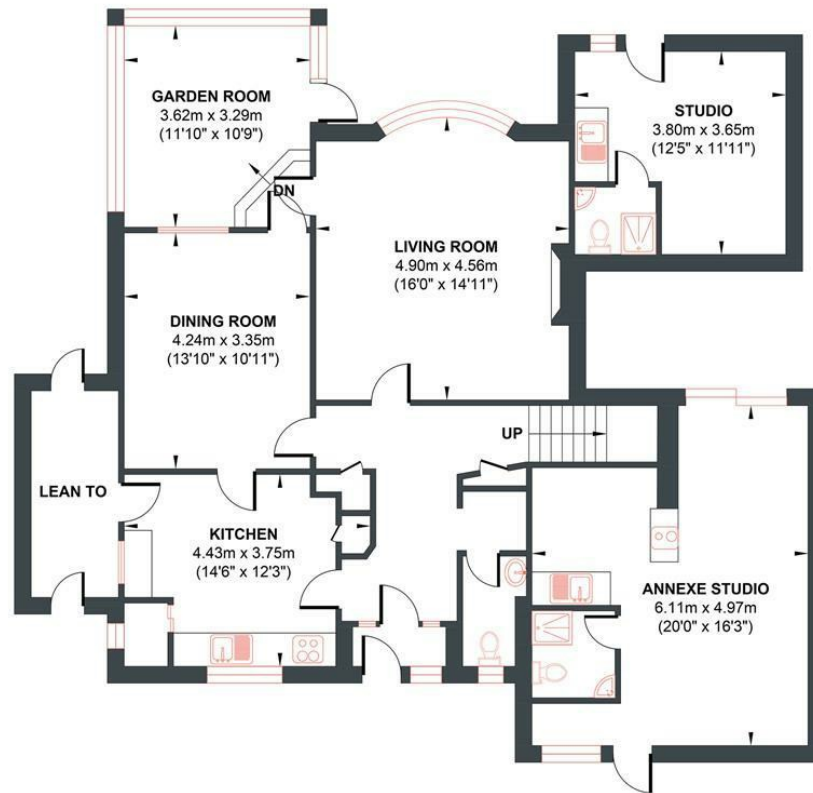
- Detached Family Home
- 5 Bedrooms
- Large South Facing Garden
- No Chain
- 2255 sq ft
- Planning Permission to Knock Down and Rebuild BH2023/01256
- 2 Annexes
- Sea View
- Off Street Parking
- Popular Hove Park Location

Energy Efficiency Rating	
	Potential
Very energy efficient - lower running costs	
(92 plus) <b>A</b>	
(81-91) <b>B</b>	
(69-80) <b>C</b>	
(55-68) <b>D</b>	
(39-54) <b>E</b>	
(21-38) <b>F</b>	
(1-20) <b>G</b>	
Not energy efficient - higher running costs	
Current	Potential
	<b>81</b>
	<b>40</b>
EU Directive 2002/91/EC	
England & Wales	

# SHIRLEY DRIVE

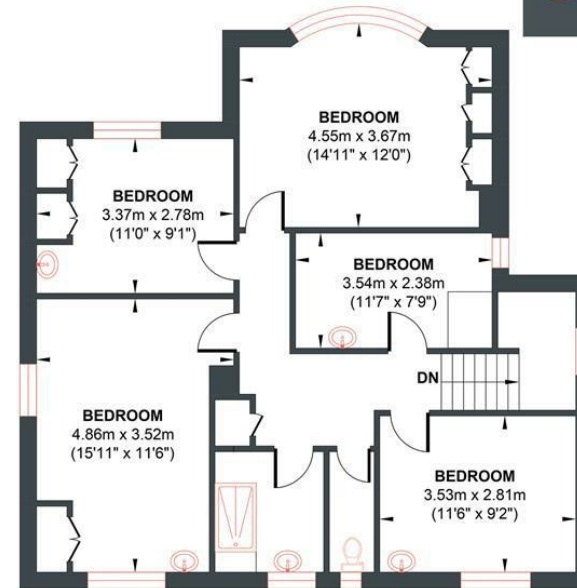
Approx. Gross Internal Floor Area = 209.57 sq m / 2255.79 sq ft

Illustration for identification purposes only, measurements are approximate, not to scale.



GROUND FLOOR

**Approximate Floor Area**  
1402.10 sq ft  
(130.26 sq m)



FIRST FLOOR

**Approximate Floor Area**  
853.68 sq ft  
(79.31 sq m)



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All measurements are approximate



